



Your Inspection Report

280 Beech Avenue
Toronto, ON M4E 3J2



PREPARED FOR:
FORD THURSTON

INSPECTION DATE:
Tuesday, May 14, 2024

PREPARED BY:
Brian Hardie



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report

Brian Hardie
31 Four Oaks Gate
Toronto, ON M4J 2X1

416-830-3767
bhardie@bell.net

A thorough home inspection, clearly communicated.

Description

Sloped roofing material:

- [Asphalt shingles](#)



Asphalt shingles



Asphalt shingles

Flat roofing material:

- [Modified bitumen membrane](#)



Modified bitumen membrane



Modified bitumen membrane

Limitations

Inspection performed: • With binoculars • With a camera on pole

Recommendations/Observations

SLOPED ROOFING \ Asphalt shingles

Condition: • Moss - the east facing slope does not get a lot of sun and is therefore slow to dry, allowing for moss to take hold. The shingles overall appear to be in good condition.

Implication(s): Increased wear

Location: East

Task: Clean/monitor

ROOFING

280 Beech Avenue, Toronto, ON May 14, 2024

- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE

Time: Less than 1 year

Cost: Depends on work needed



Moss

FLAT ROOFING \ Modified bitumen

Condition: • [Openings at seams or flashings](#)

The flat roof material appears to be in good condition, but it needs a tune-up.

Implication(s): Chance of water damage to structure, finishes and contents

Task: Repair

Time: Less than 1 year

Cost: Minor



Openings at seams or flashings

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Description

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Below grade](#) • [Above grade](#)

Lot slope: • [Away from building](#)

Wall surfaces - masonry: • [Brick](#)

Driveway: • Interlocking brick

Limitations

Exterior inspected from: • Ground level

Recommendations/Observations

ROOF DRAINAGE \ Gutters

Condition: • [Clogged](#)

Implication(s): Chance of water damage to structure, finishes and contents

Task: Clean

Time: Regular maintenance



Clogged

WALLS \ Flashings and caulking

Condition: • [Caulking missing or ineffective](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: West

Task: Provide

Time: Less than 1 year

Cost: Minor

EXTERIOR

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Caulking missing or ineffective

WALLS \ Masonry (brick, stone) and concrete

Condition: • [Mortar deterioration](#)

Implication(s): Chance of water entering building | Weakened structure | Chance of structural movement

Location: South, East

Task: Repair

Time: Less than 1 year

Cost: Minor



Mortar deterioration

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Mortar deterioration

WALLS \ Vent (fan, clothes dryer, etc.)

Condition: • Caulking deteriorated/missing

Location: Southwest

Task: Provide

Time: Less than 1 year

Cost: Minor

EXTERIOR

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Caulking deteriorated/missing

WINDOWS \ General notes

Condition: • Rot at abandoned window

Location: Southeast

Task: Repair

Time: Less than 1 year

Cost: Minor



Rot

EXTERIOR GLASS/WINDOWS \ General notes

Condition: • [Caulking missing, loose or deteriorated](#)

EXTERIOR

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Implication(s): Chance of water damage to structure, finishes and contents

Location: South

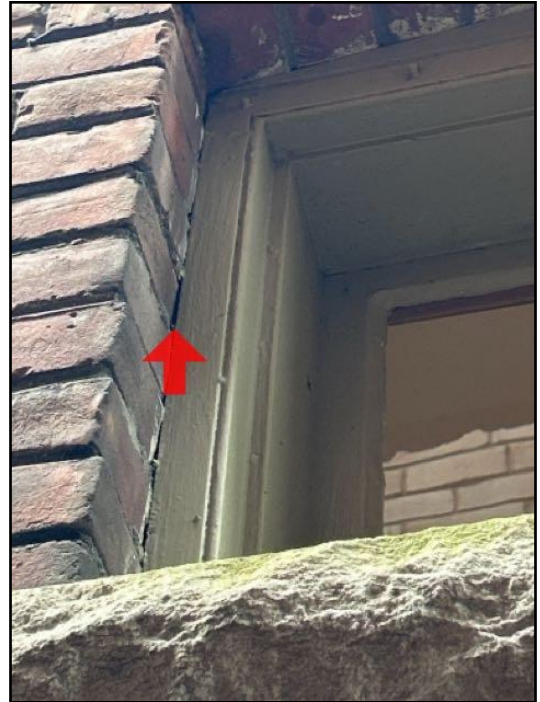
Task: Provide

Time: Less than 1 year

Cost: Minor



Caulking missing, loose or deteriorated



Caulking missing, loose or deteriorated



Caulking missing, loose or deteriorated

EXTERIOR

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Condition: • Windows at grade

Implication(s): Risk of water infiltration

Location: Southwest

Task: Keep window area cleared of snow in winter



Windows at grade

EXTERIOR GLASS/WINDOWS \ Storms and screens

Condition: • [Missing](#)

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: Southwest

Task: Provide

Time: Discretionary

Cost: Minor

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Missing storm



Missing storm



Missing storm

- ROOFING
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Description

- Configuration:** • [Basement](#)
- Foundation material:** • [Brick](#)
- Floor construction:** • [Joists](#)
- Exterior wall construction:** • [Masonry](#)
- Roof and ceiling framing:** • Not visible
- Party wall:** • [Masonry](#)

Limitations

- Inspection limited/prevented by:** • Ceiling, wall and floor coverings
- Attic/roof space:** • No access

Recommendations/Observations

RECOMMENDATIONS \ Overview

- Condition:** • No structure recommendations are offered as a result of this inspection.

Description

Service entrance cable and location: • [Overhead](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [125 Amps](#)

Main disconnect/service box type and location:

• [Breakers - basement](#)



Breakers - basement

System grounding material and type: • [Copper - water pipe](#)

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - exterior](#) • [AFCI - panel](#)

Smoke alarms (detectors): • [Present](#) • Combination smoke and carbon monoxide detectors noted

Limitations

Panel covers: • Disconnect covers are not removed by the building inspector

Recommendations/Observations

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

Condition: • [Abandoned wire](#)

The abandoned wire does not appear to be live.

Implication(s): Electric shock

Location: Kitchen - under sink

Task: Improve

Time: Less than 1 year

Cost: Minor



Abandoned wire

DISTRIBUTION SYSTEM \ Wiring (wires) - damaged or exposed

Condition: • [Exposed on walls or ceilings](#)

Implication(s): Electric shock

Location: Middle Bedroom

Task: Improve

Time: Immediate

Cost: Minor



Exposed on walls or ceilings



Exposed on walls or ceilings

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [No GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

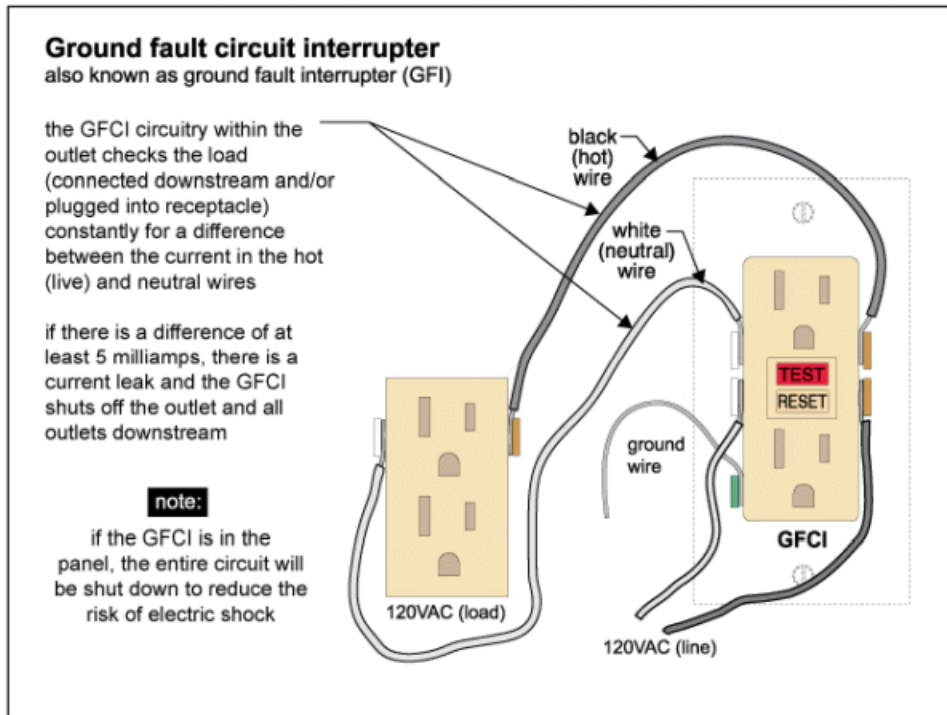
Implication(s): Electric shock

Location: Kitchen - right of sink

Task: Provide

Time: Less than 1 year

Cost: Minor



DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • Old

Implication(s): Life safety hazard

Location: Basement Family Room

Task: Replace

Time: Immediate

Cost: Minor

ELECTRICAL

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Old

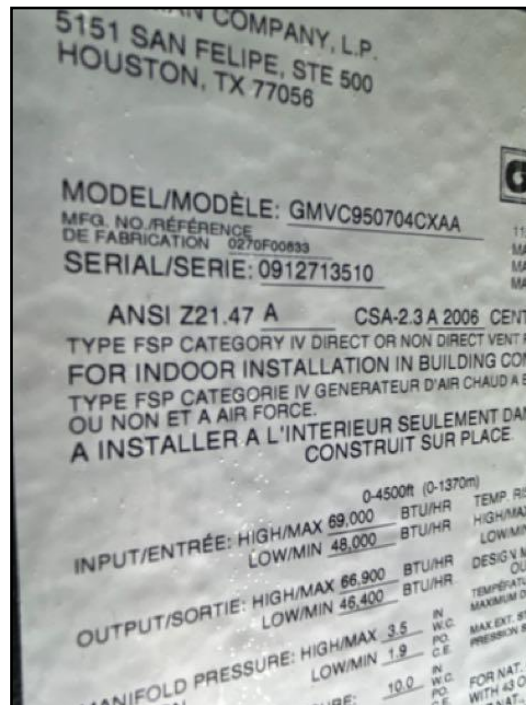
Description

Heating system type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Furnace manufacturer:

• Amana



Amana data plate

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [70,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Direct vent](#) • [Induced draft](#)

Combustion air source: • Outside

Approximate age: • [14 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at: • Meter

Air filter: • Disposable • 16" x 25" • 1" thick

Exhaust pipe (vent connector): • PVC plastic

Fireplace/stove: • [Coal-burning fireplace](#)

Chimney/vent: • [Masonry](#)

Chimney liner: • [Metal](#)

Humidifier: • [Trickle/cascade type](#)

HEATING

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Recommendations/Observations

RECOMMENDATIONS \ Overview

Condition: • No heating recommendations are offered as a result of this inspection.

Description

Air conditioning type: • [Air cooled](#) • Central

Manufacturer:

- Goodman



Goodman data plate

Cooling capacity: • [24,000 BTU/hr](#)

Compressor approximate age: • 22 years

Typical life expectancy: • 12 to 15 years

Limitations

Inspection limited/prevented by: • Heating system on

Recommendations/Observations

AIR CONDITIONING \ Life expectancy

Condition: • Aging

Task: Replace

Time: When necessary

Cost: \$4,000 - \$6,000

AIR CONDITIONING \ Refrigerant lines

Condition: • Insulation damaged/missing

Location: Southwest Exterior

Task: Repair

Time: Less than 1 year

Cost: Minor

COOLING & HEAT PUMP

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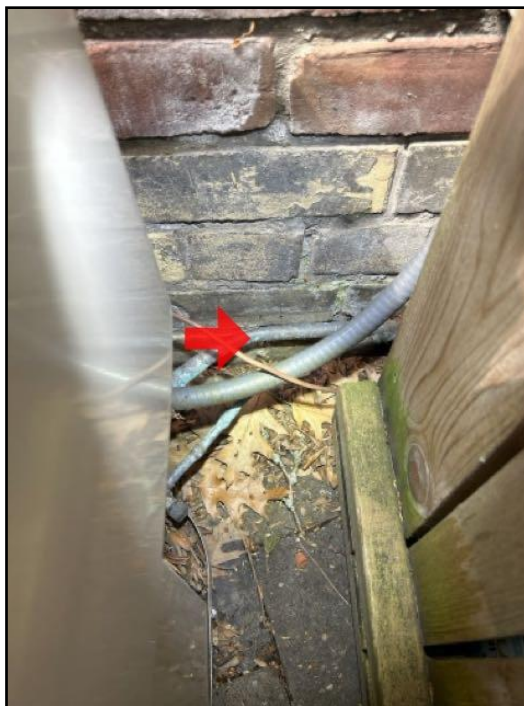
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Insulation damaged/missing

INSULATION AND VENTILATION

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Limitations

Inspection limited/prevented by lack of access to: • Attic • Roof space • Wall space

Description

Water supply source (based on observed evidence): • Public

Service piping into building: • 3/4" Copper

Supply piping in building: • [Copper](#) • PEX (cross-linked Polyethylene) - Not Kitec • [Not visible](#)

Main water shut off valve at the:

- Front of the basement



Water shut-off valve

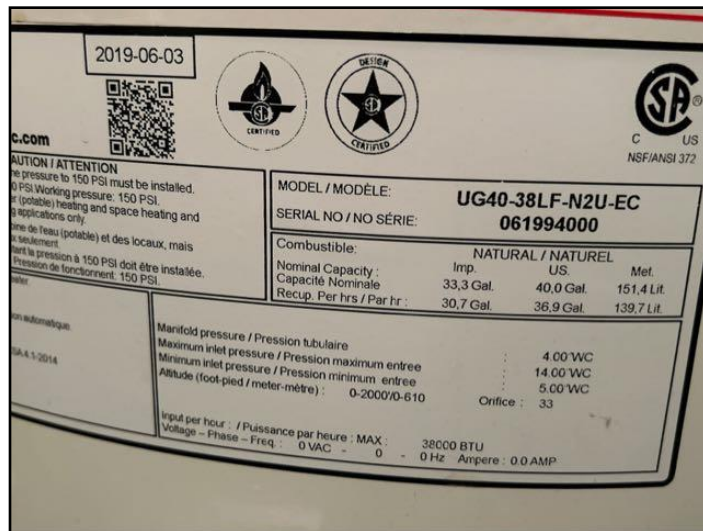
Water heater type: • [Conventional](#) • Tank • Rental

Water heater fuel/energy source: • [Gas](#)

Water heater exhaust venting method: • Natural draft

Water heater manufacturer:

- Giant



Giant data plate

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • 5 years

Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building: • [ABS plastic](#) • [Not visible](#)

Backwater valve: • None noted

Limitations

Items excluded from a building inspection: • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment

Recommendations/Observations

WASTE PLUMBING \ Floor drain

Condition: • [Not found](#)

There may be a floor drain located under flooring, furniture, storage or appliances.

Implication(s): Chance of water damage to structure, finishes and contents

Task: Further evaluation/request disclosure

Time: Less than 1 year

Cost: Depends if/on work needed

FIXTURES AND FAUCETS \ Toilet

Condition: • [Loose](#)

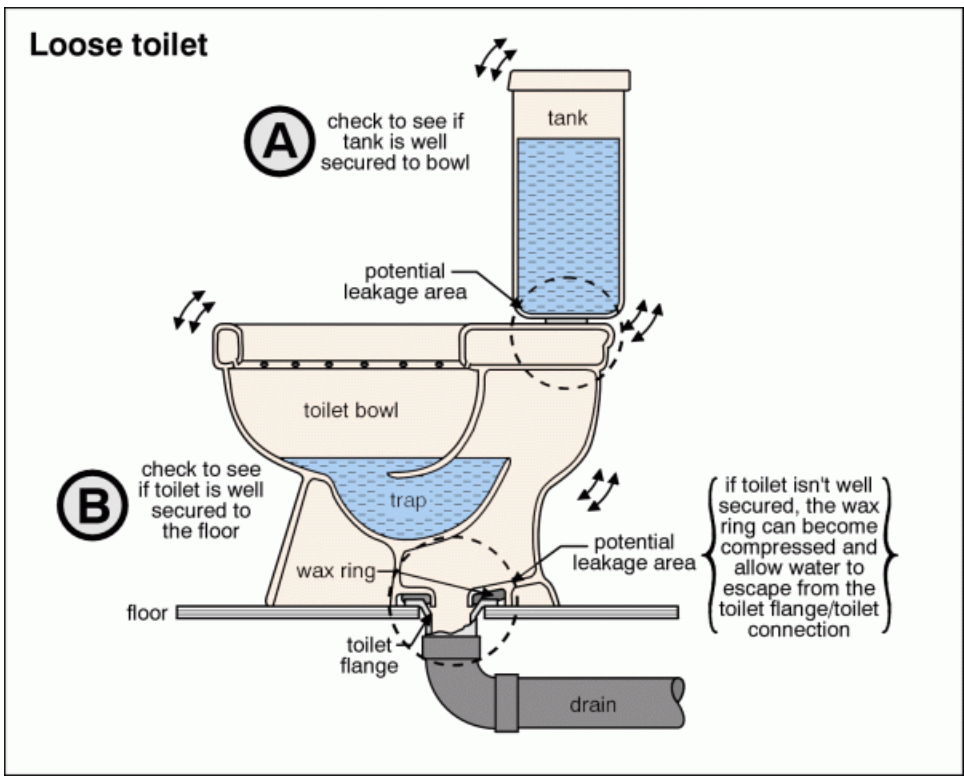
Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

Location: Basement

Task: Repair

Time: Immediate

Cost: Minor



Loose

COMMENTS \ Additional

Condition: • Water filter constantly draining water through relief line (terminates in laundry sink)

Implication(s): Increased water usage costs

Location: Utility Room

Task: Service

Time: Immediate

Cost: Depends on work needed



Water filter relief line



Water filter relief line

Description

Major floor finishes: • [Carpet](#) • [Hardwood](#) • Tile

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Windows: • [Fixed](#) • [Sliders](#) • [Casement](#) • [Awning](#)

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged

Limitations

Not included as part of a building inspection: • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Recommendations/Observations

WINDOWS \ Glass (glazing)

Condition: • [Lost seal on double or triple glazing](#)

Implication(s): Shortened life expectancy of material

Location: East Second Floor

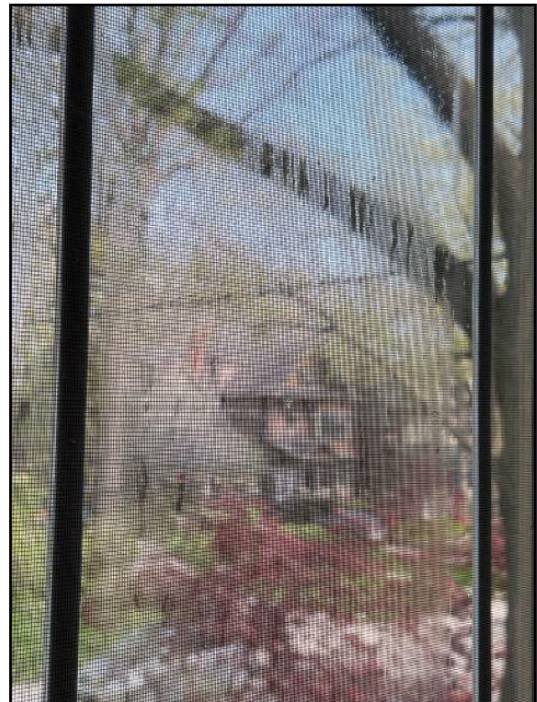
Task: Repair or replace

Time: Discretionary

Cost: Depends on approach



Lost seal on double or triple glazing



Lost seal on double or triple glazing

INTERIOR

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END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS